MATERIAL PALETTE

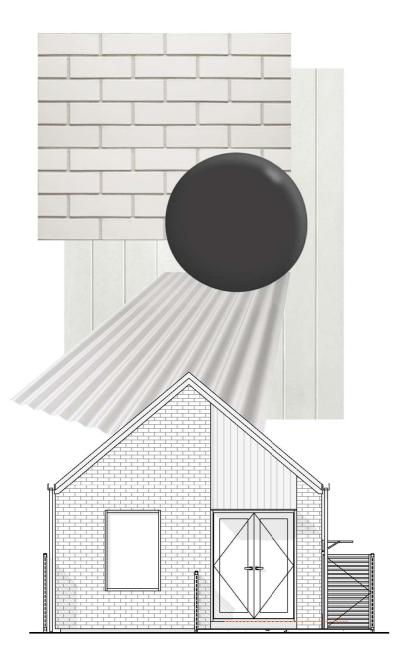
The aim of the material palette and building appearance is to create a feeling of variation and visual interest across the site. This variation is reflected in the forms, materials, colours, and surface finishes across the buildings. We have set up three material palettes applied to the site with a random appearance.

NOTE: Final material selections to be confirmed prior to construction.



LIGHT PALETTE

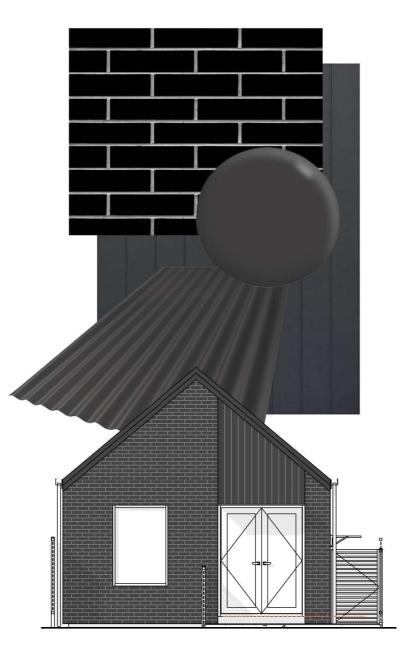
Walls: White Brick, Groove panel painted white Roofing: White longrun metal roofing Aluminium Joinery: Matt Black



TYPICAL UNIT - LIGHT PALETTE SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE

DARK PALETTE

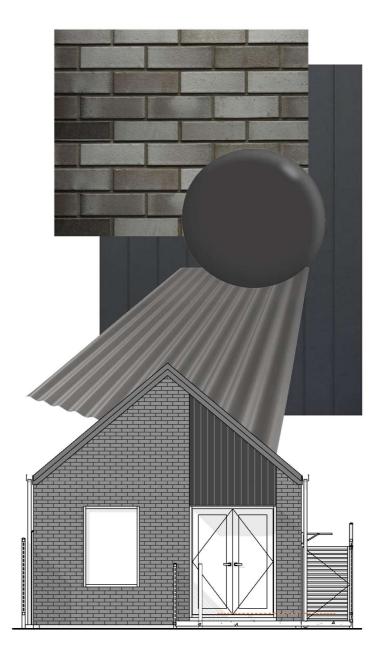
Walls: Black Brick, Groove panel painted black Roofing: Black longrun metal roofing Aluminium Joinery: Matt Black



TYPICAL UNIT - DARK PALETTE SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE

CONTRAST PALETTE

Walls: Grey Brick, Groove panel painted black Roofing: Grey longrun metal roofing Aluminium Joinery: Matt Black



TYPICAL UNIT - MID PALETTE SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC07

KEV.

MATERIAL PALETTE

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

 PROJECT No.
 PROJECT NUMBER

 PLOT DATE.
 30/07/2024 3:57:59 PM

B RC Drawings 02 2024/07/24
A RC Drawings 2024/07/22
B Draft RC drawings 02 2024/07/18
Draft RC drawings 2024/07/04
NO. DESCRIPTION DATE

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944

Wind Zone: High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

0 5 10 20 30 50 A3 Print Scale 1 : 1 A1 Print Scale 1 : 0.5

Wellington +64 4 920 0032
Palmerston North +64 6 357 4534
Tauranga +64 7 925 6238
Napier +64 6 835 6173

+64 4 920 0032 wn@dgse.co.nz +64 6 357 4534 pn@dgse.co.nz +64 7 925 6238 tr@dgse.co.nz +64 6 835 6173 np@dgse.co.nz +64 9 976 8288 ak@dgse.co.nz



RC08

REV.**E**

MATERIAL PALETTE

Light Palette

Contrast Palette

Dark Palette

MASTERPLAN - CLADDING COLOUR

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

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 PROJECT No.
 PROJECT NUMBER

 PLOT DATE.
 30/07/2024 3:58:06 PM

 B
 RC Drawings 02
 2024/07/24

 A
 RC Drawings
 2024/07/22

 8
 Draft RC drawings 02
 2024/07/18

 4
 Draft RC drawings
 2024/07/04

 NO.
 DESCRIPTION
 DATE

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944 Wind Zone: High

Willia Zolle. 11

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

0 5 10 20 30 50 mm A3 Print Scale 1 : 1 A1 Print Scale 1 : 0.5

Wellington

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 wn@dgse.co.nz

 Palmerston North
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 pn@dgse.co.nz

 Tauranga
 +64 7 925 6238
 tro@dgse.co.nz

 Napier
 +64 6 355 5173
 pn@dgse.co.nz

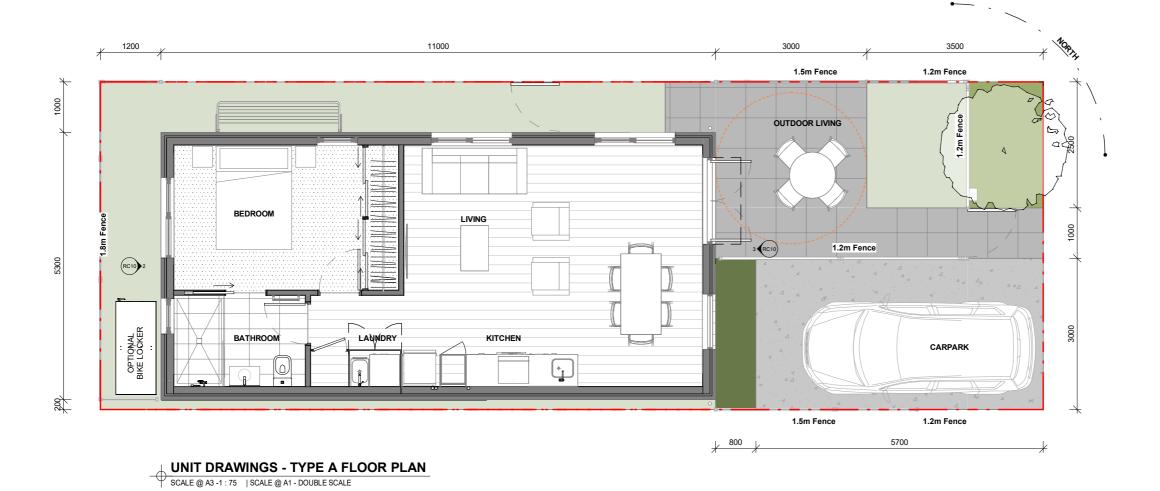
 Auckland
 +64 9 976 8288
 ak@dgse.co.nz



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MASTERPLAN - CLADDING COLOUR

SCALE @ A3 - 1 : 500 | SCALE @ A1 - DOUBLE SCALE



RC10

REV.

UNIT DRAWINGS - TYPE A

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

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 PROJECT No.
 PROJECT NUMBER

 PLOT DATE.
 30/07/2024 3:58:08 PM

B RC Drawings 02 2024/07/24
A RC Drawings 2024/07/22
B Draft RC drawings 02 2024/07/18
Draft RC drawings 2024/07/04
Unit Drawings 2024/06/27
NO. DESCRIPTION DATE

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape
- information.

 The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944

Wind Zone: High

0 5 10

A3 Print Scale 1 : 1 A1 Print Scale 1 : 0.5

Wellington Palmerston North

Tauranga

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

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+64 6 835 6173

wn@dgse.co.nz pn@dgse.co.nz

tr@dqse.co.nz

UNIT TYPE A, B1, D + F COMPLIANCE

Glazing: 20% of the street-facing façade Proposed unit Type A, B1 + D : 26.2%

Outdoor living space (one per unit): Ground floor: 20m2, 3m dimension Proposed unit : Compliant 17m² + 4.8m² share of communal park

Outlook space (per unit): Principal living room: 4m depth, 4m width All other habitable rooms: 1m depth, 1m width

All other habitable rooms: 1m depth, 1m v Proposed unit : Compliant

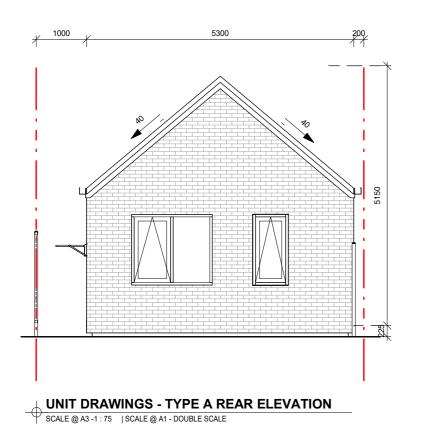
Building height: 11m Proposed unit : Compliant

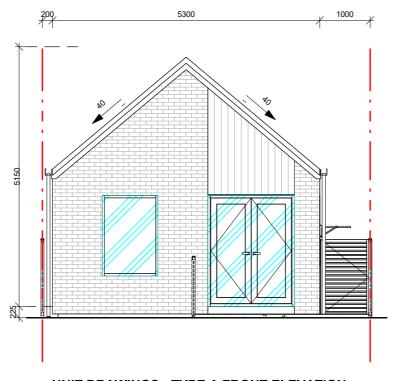
Proposed unit : Compliant

Setbacks: Front yard: 1.5m Side yard: 1m Rear yard: 1m



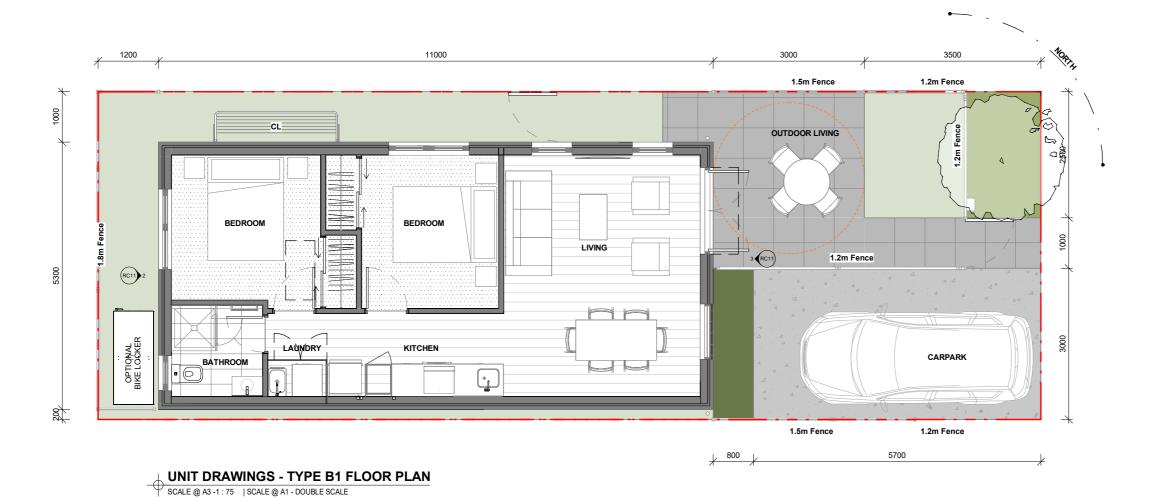
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UNIT DRAWINGS - TYPE A FRONT ELEVATION

SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE B1

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

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PROJECT No. PROJECT NUMBER PLOT DATE. 30/07/2024 3:58:10 PM

2024/07/24 2024/07/22

2024/07/18

2024/07/04

DATE

Draft RC drawings 02 Draft RC drawings 3 Unit Drawings

RC Drawings 02

RC Drawings

2024/06/27 NO. DESCRIPTION

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape
- information.

 The north indicator is indicative, refer to the masterplan for unit aspect and

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944 Wind Zone: High

0 5 10

A3 Print Scale 1 : 1

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE A, B1, D + F COMPLIANCE

Glazing: 20% of the street-facing façade Proposed unit Type A, B1 + D : 26.2%

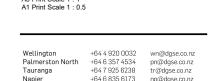
Outdoor living space (one per unit): Ground floor: 20m2, 3m dimension Proposed unit: Compliant 17m² + 4.8m² share of communal park

Outlook space (per unit):

Principal living room: 4m depth, 4m width All other habitable rooms: 1m depth, 1m width Proposed unit: Compliant

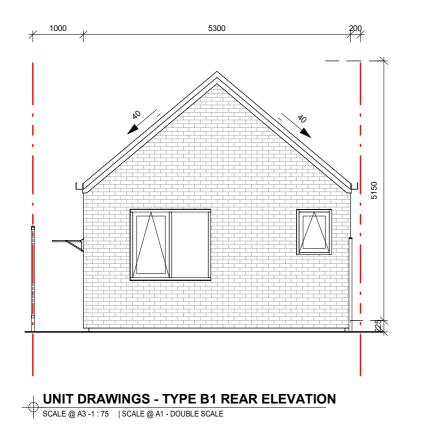
Building height: 11m Proposed unit : Compliant

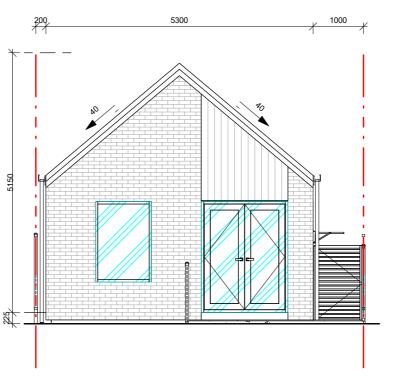
Setbacks: Front yard: 1.5m Side yard: 1m Rear yard: 1m Proposed unit : Compliant



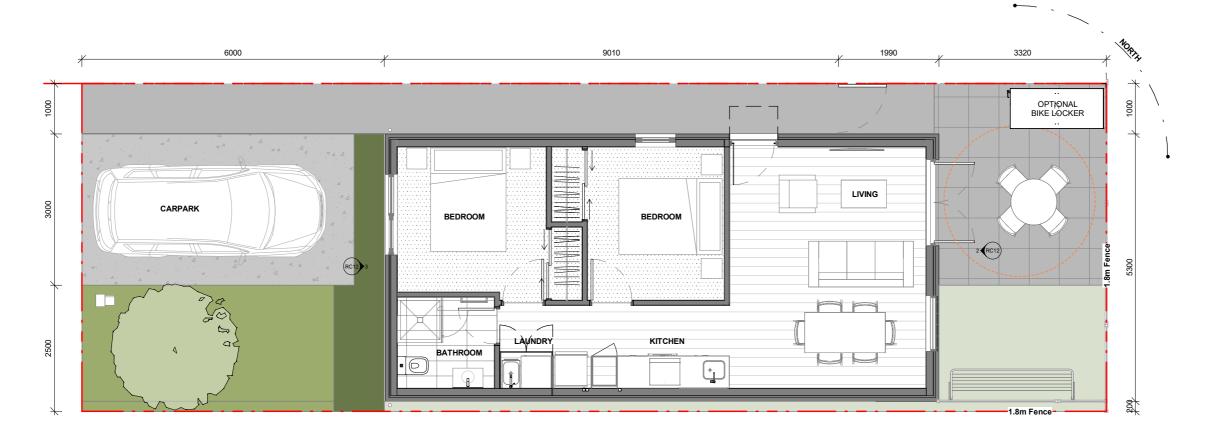


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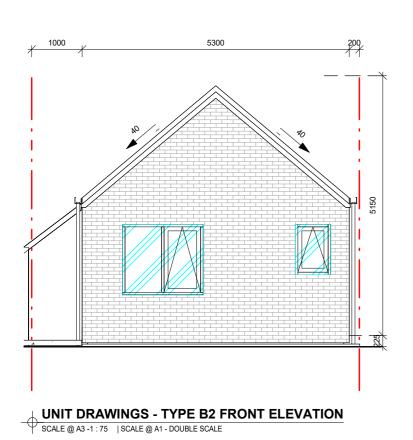


UNIT DRAWINGS - TYPE B1 FRONT ELEVATION SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE B2 FLOOR PLAN

SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE B2 REAR ELEVATION SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC Drawings 02 2024/07/24 2024/07/22 RC Drawings Draft RC drawings 02 2024/07/18 Draft RC drawings 2024/07/04 5300 1000 3 Unit Drawings 2024/06/27 NO. DESCRIPTION DATE UNIT NOTES The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape **Site Information** information. • The north indicator is indicative, refer to Rainfall Intensity: 60 mm/h

the masterplan for unit aspect and

RC12

THAMES PACIFIC

WELLINGTON, 5032

UNIT DRAWINGS - TYPE B2

160 Mazengarb Road, Paraparaumu,

RESOURCE CONSENT

PROJECT No. PROJECT NUMBER PLOT DATE. 30/07/2024 3:58:13 PM

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Climate Zone: 3

0 5 10

A3 Print Scale 1 : 1 A1 Print Scale 1 : 0.5

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944 Wind Zone: High

NZBC E2 Compliance: Compliance with NZBC

E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE B2 COMPLIANCE

Glazing: 20% of the street-facing façade Proposed unit Type B2 : 15.5%

Outdoor living space (one per unit): Ground floor: 20m2, 3m dimension Proposed unit : Compliant

Outlook space (per unit): Principal living room: 4m depth, 4m width All other habitable rooms: 1m depth, 1m width Proposed unit : Compliant

Building height: 11m Proposed unit : Compliant

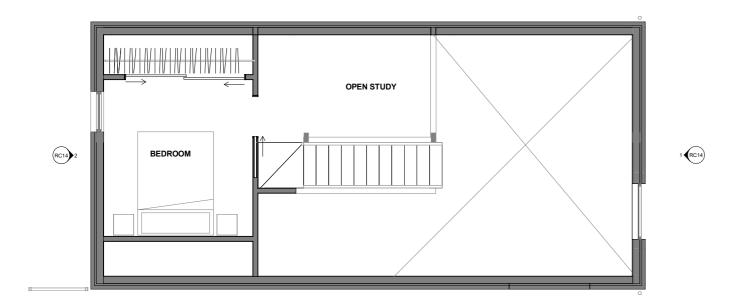
Setbacks:

Front yard: 1.5m Side yard: 1m Rear yard: 1m Proposed unit : Compliant



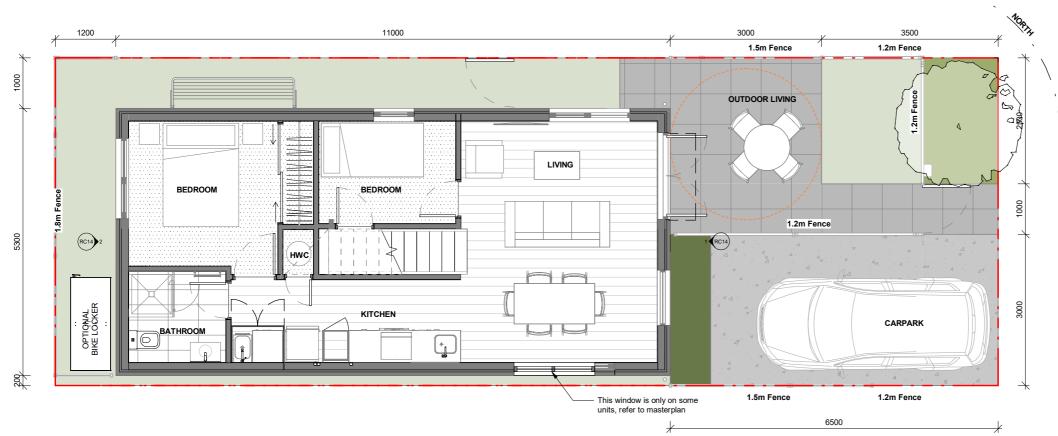


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UNIT DRAWINGS - TYPE C LEVEL 1 PLAN

SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE C GROUND FLOOR PLAN

SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC13

UNIT DRAWINGS - TYPE C

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

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PROJECT No. PROJECT NUMBER PLOT DATE. 30/07/2024 3:58:14 PM

RC Drawings 02 2024/07/24 2024/07/22 RC Drawings Draft RC drawings 02 2024/07/18 Draft RC drawings 2024/07/04 3 Unit Drawings 2024/06/27 NO. DESCRIPTION DATE

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape
- information.

 The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944 Wind Zone: High

0 5 10

A3 Print Scale 1 : 1 A1 Print Scale 1 : 0.5

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE C COMPLIANCE

Glazing: 20% of the street-facing façade Proposed unit Type C: 28.5%

Outdoor living space (one per unit): Ground floor: 20m2, 3m dimension Proposed unit : Compliant 17m² + 4.8m² share of communal park

Outlook space (per unit): Principal living room: 4m depth, 4m width All other habitable rooms: 1m depth, 1m width

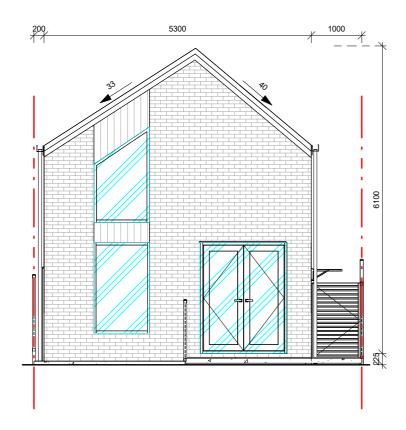
Proposed unit: Compliant Building height: 11m Proposed unit : Compliant

Setbacks: Front yard: 1.5m Side yard: 1m Rear yard: 1m Proposed unit : Compliant



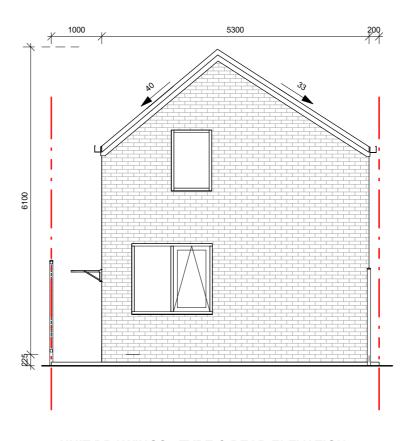


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SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE C REAR ELEVATION

SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC14

UNIT DRAWINGS - TYPE C

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

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PROJECT No. PROJECT NUMBER PLOT DATE. **30/07/2024 3:58:16 PM**

В	RC Drawings 02	2024/07/24
Α	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04
3	Unit Drawings	2024/06/27
NO	DESCRIPTION	DATE

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape
- information.

 The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944

Wind Zone: High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE C COMPLIANCE

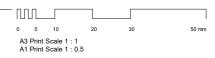
Glazing: 20% of the street-facing façade Proposed unit Type C : 28.5%

Outdoor living space (one per unit): Ground floor: 20m2, 3m dimension Proposed unit: Compliant 17m² + 4.8m² share of communal park

Outlook space (per unit): Principal living room: 4m depth, 4m width All other habitable rooms: 1m depth, 1m width

Proposed unit: Compliant Building height: 11m Proposed unit : Compliant

Setbacks: Front yard: 1.5m Side yard: 1m Rear yard: 1m Proposed unit : Compliant



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1200 11000 1000 5500 1.5m Fence 1.2m Fence **OUTDOOR LIVING** LIVING BEDROOM 1.2m Fence RC15 3 BATHROOM CARPARK 1.5m Fence 1.2m Fence 1000 5500 UNIT DRAWINGS - TYPE D FLOOR PLAN SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC15

UNIT DRAWINGS - TYPE D

THAMES PACIFIC

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RESOURCE CONSENT

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PROJECT No. PROJECT NUMBER PLOT DATE. 30/07/2024 3:58:18 PM

RC Drawings 02 2024/07/24 2024/07/22 RC Drawings Draft RC drawings 02 2024/07/18 Draft RC drawings 2024/07/04 3 Unit Drawings 2024/06/27 NO. DESCRIPTION DATE

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape
- information.

 The north indicator is indicative, refer to the masterplan for unit aspect and

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944 Wind Zone: High

0 5 10

A3 Print Scale 1 : 1 A1 Print Scale 1: 0.5

Wellington Palmerston North

Tauranga

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE A, B1, D + F COMPLIANCE

Glazing: 20% of the street-facing façade Proposed unit Type A, B1 + D : 26.2%

Outdoor living space (one per unit): Ground floor: 20m2, 3m dimension Proposed unit: Compliant 17m² + 4.8m² share of communal park

Outlook space (per unit): Principal living room: 4m depth, 4m width All other habitable rooms: 1m depth, 1m width

Proposed unit: Compliant

Building height: 11m Proposed unit : Compliant

Setbacks: Front yard: 1.5m Side yard: 1m Rear yard: 1m Proposed unit : Compliant



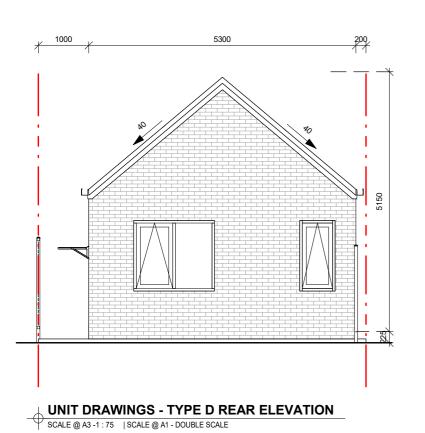
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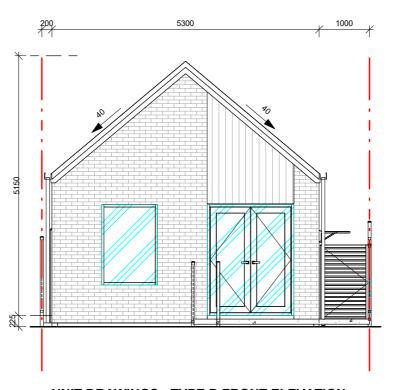
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+64 6 835 6173

wn@dgse.co.nz pn@dgse.co.nz

tr@dqse.co.nz





UNIT DRAWINGS - TYPE D FRONT ELEVATION

SCALE @ A3 -1 : 75 | SCALE @ A1 - DOUBLE SCALE