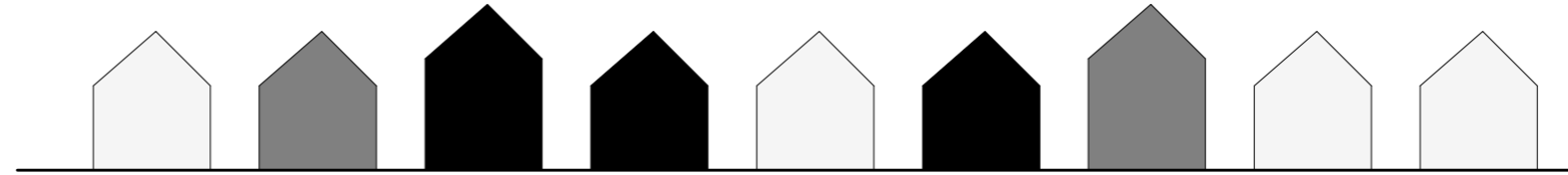


MATERIAL PALETTE

The aim of the material palette and building appearance is to create a feeling of variation and visual interest across the site. This variation is reflected in the forms, materials, colours, and surface finishes across the buildings. We have set up three material palettes applied to the site with a random appearance.

NOTE: Final material selections to be confirmed prior to construction.



LIGHT PALETTE

Walls: White Brick, Groove panel painted white

Roofing: White longrun metal roofing

Aluminium Joinery: Matt Black

DARK PALETTE

Walls: Black Brick, Groove panel painted black

Roofing: Black longrun metal roofing

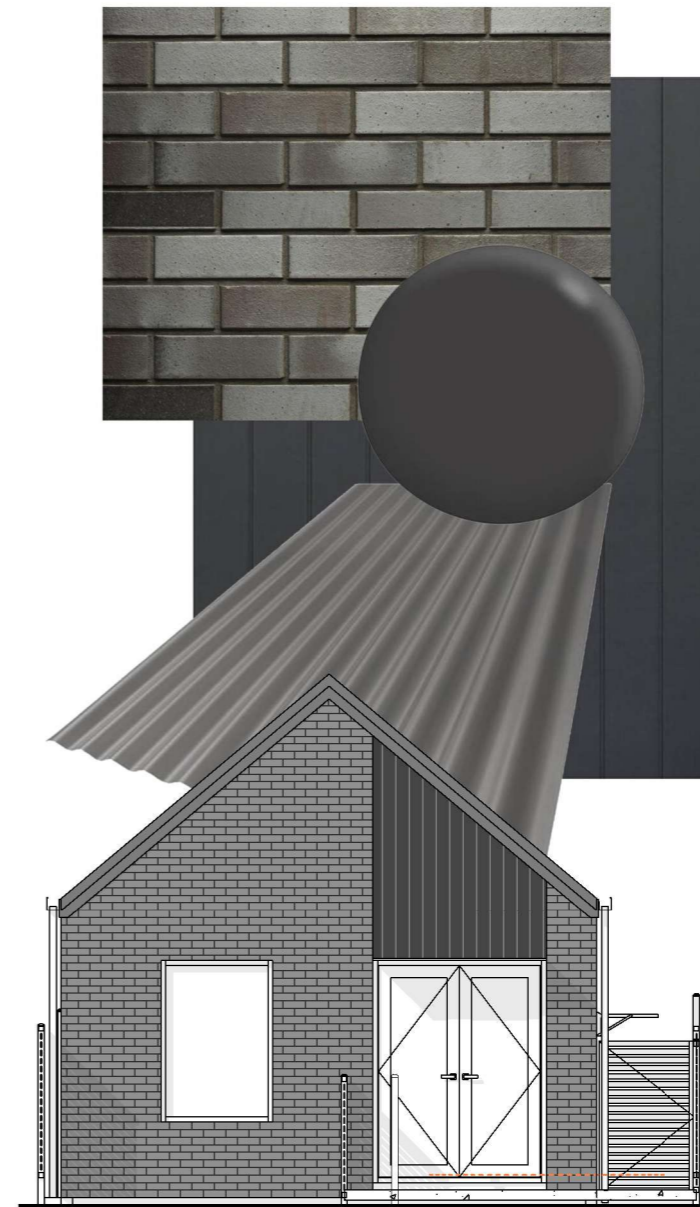
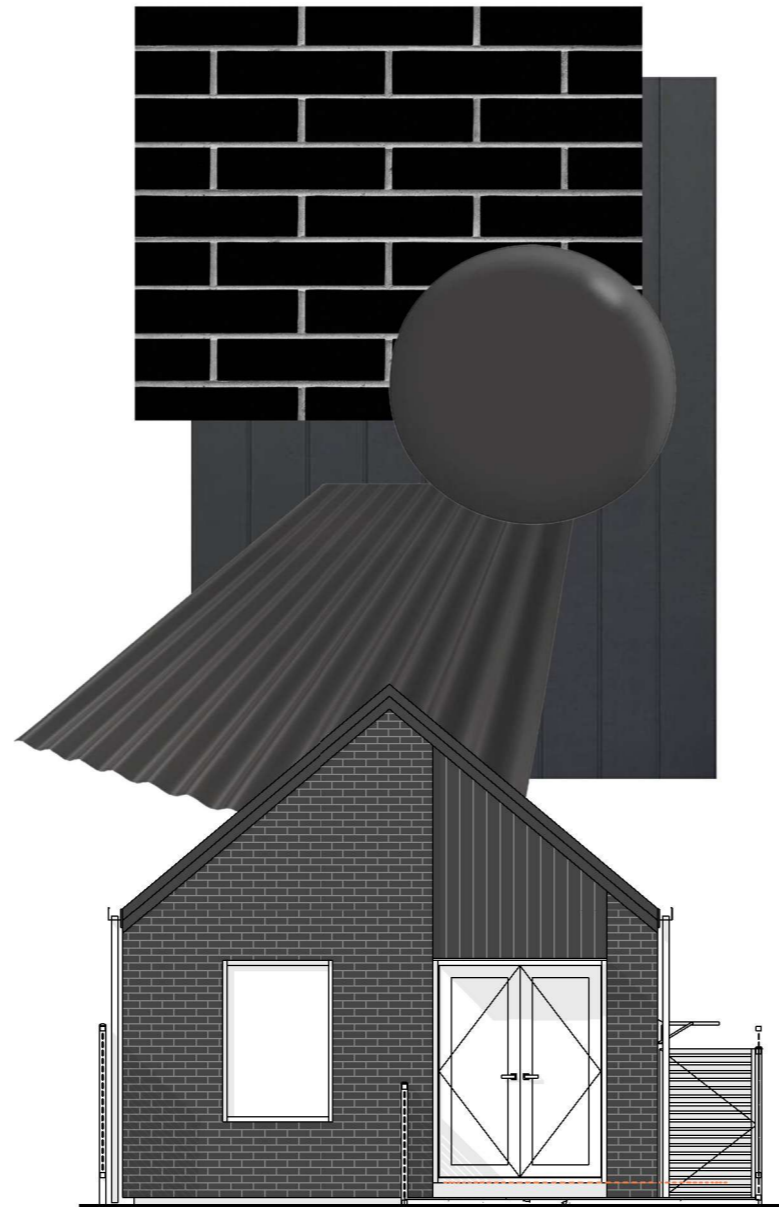
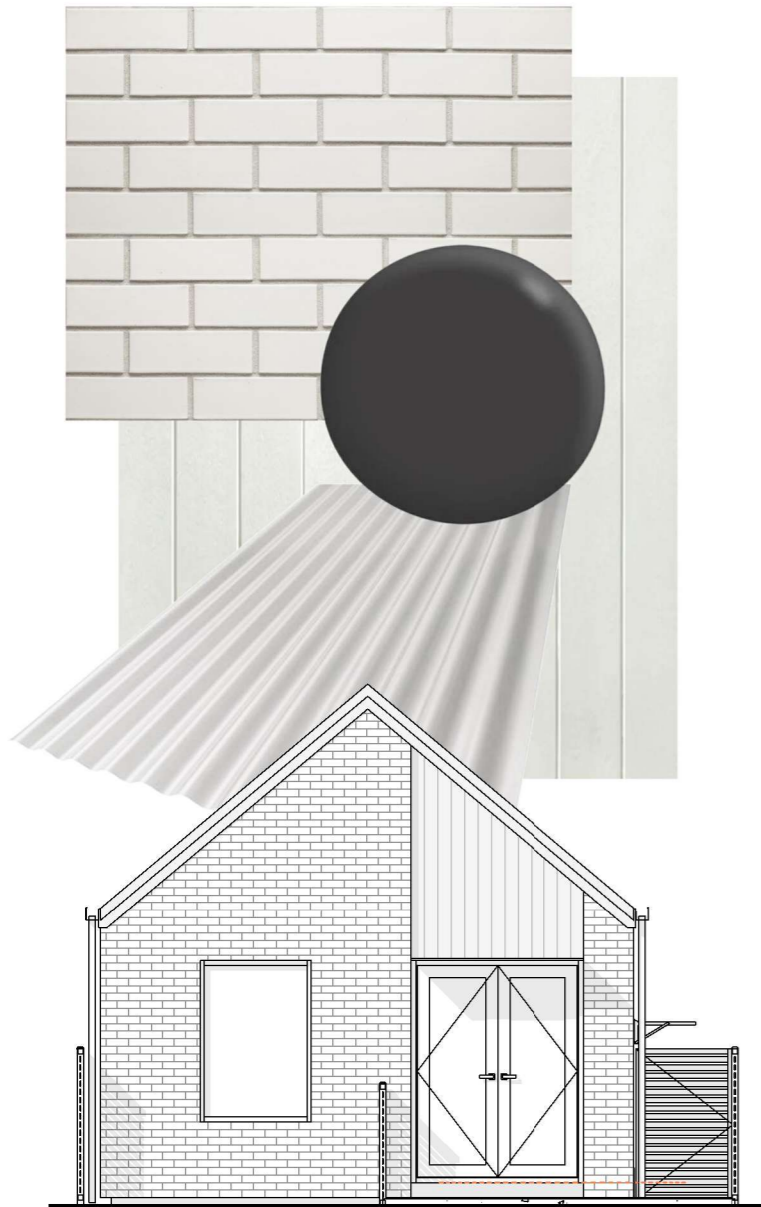
Aluminium Joinery: Matt Black

CONTRAST PALETTE

Walls: Grey Brick, Groove panel painted black

Roofing: Grey longrun metal roofing

Aluminium Joinery: Matt Black



TYPICAL UNIT - LIGHT PALETTE

SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

TYPICAL UNIT - DARK PALETTE

SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

TYPICAL UNIT - MID PALETTE

SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC07

REV.B

MATERIAL PALETTE

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu,
WELLINGTON, 5032

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **PROJECT NUMBER**

PLOT DATE. **30/07/2024 3:57:59 PM**

NO.	DESCRIPTION	DATE
B	RC Drawings 02	2024/07/24
A	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944

Wind Zone: High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 976 8288	ak@dgse.co.nz



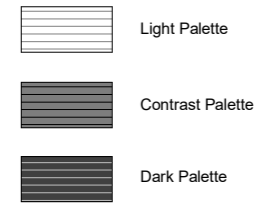
designgroup
stapleton elliott

MASTERPLAN - CLADDING COLOUR

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu,
WELLINGTON, 5032

MATERIAL PALETTE



RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **PROJECT NUMBER**
PLOT DATE. **30/07/2024 3:58:06 PM**

NO.	DESCRIPTION	DATE
B	RC Drawings 02	2024/07/24
A	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04

Site Information

Rainfall Intensity: 60 mm/h

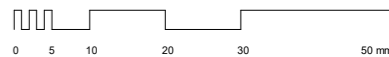
Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944

Wind Zone: High

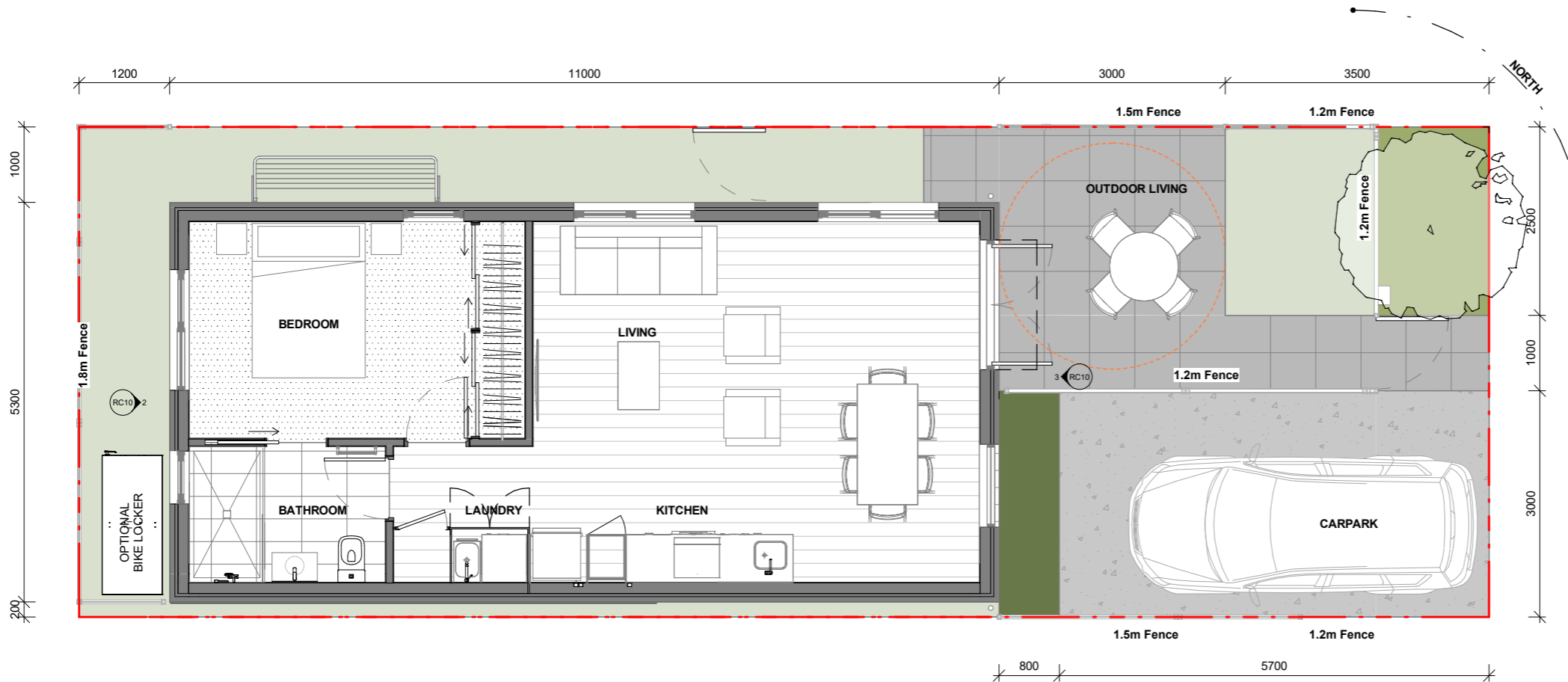
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



A3 Print Scale 1 : 1
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 976 8288	ak@dgse.co.nz

MASTERPLAN - CLADDING COLOUR
SCALE @ A3 - 1 : 500 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE A FLOOR PLAN
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC10 REV.B

UNIT DRAWINGS - TYPE A

THAMES PACIFIC
160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **PROJECT NUMBER**
PLOT DATE. **30/07/2024 3:58:08 PM**

NO.	DESCRIPTION	DATE
B	RC Drawings 02	2024/07/24
A	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04
3	Unit Drawings	2024/06/27

- UNIT NOTES**
- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape information.
 - The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h
Climate Zone: 3
Corrosion Zone: Zone C
Legal Description: Lot 12 DP 90944
Wind Zone: High
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.



UNIT TYPE A, B1, D + F COMPLIANCE

Glazing: 20% of the street-facing façade
Proposed unit Type A, B1 + D : 26.2%

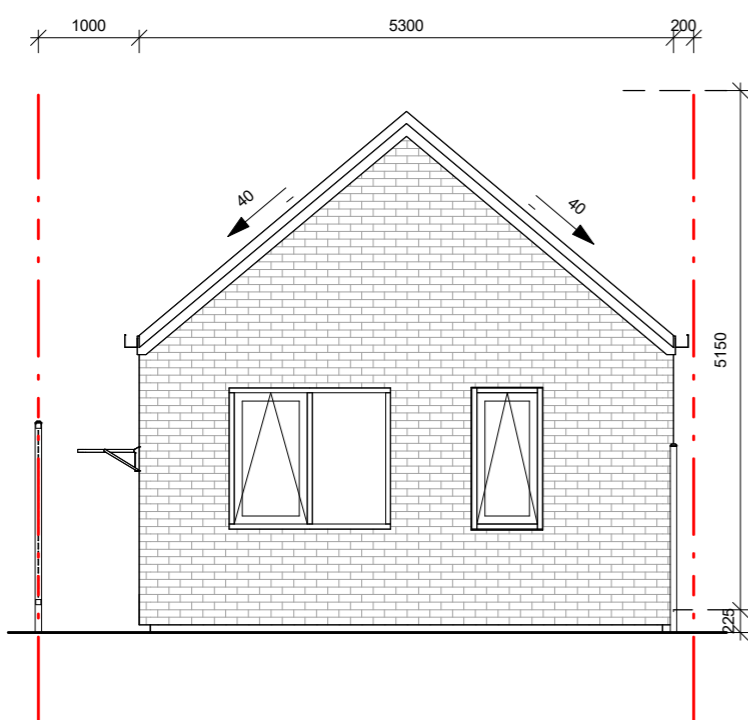
Outdoor living space (one per unit):
Ground floor: 20m², 3m dimension
Proposed unit : Compliant
17m² + 4.8m² share of communal park

Outlook space (per unit):
Principal living room: 4m depth, 4m width
All other habitable rooms: 1m depth, 1m width
Proposed unit : Compliant

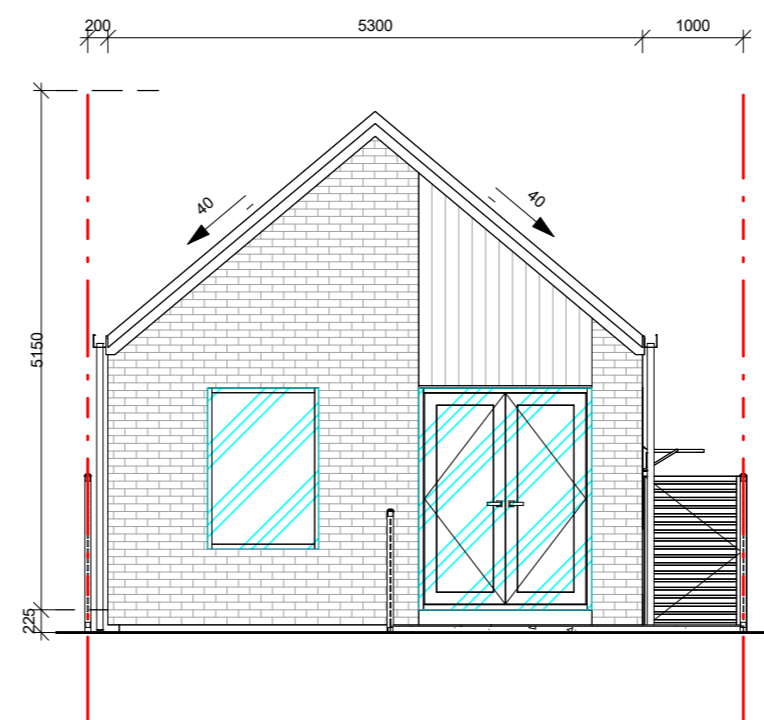
Building height: 11m
Proposed unit : Compliant

Setbacks:
Front yard: 1.5m
Side yard: 1m
Rear yard: 1m
Proposed unit : Compliant

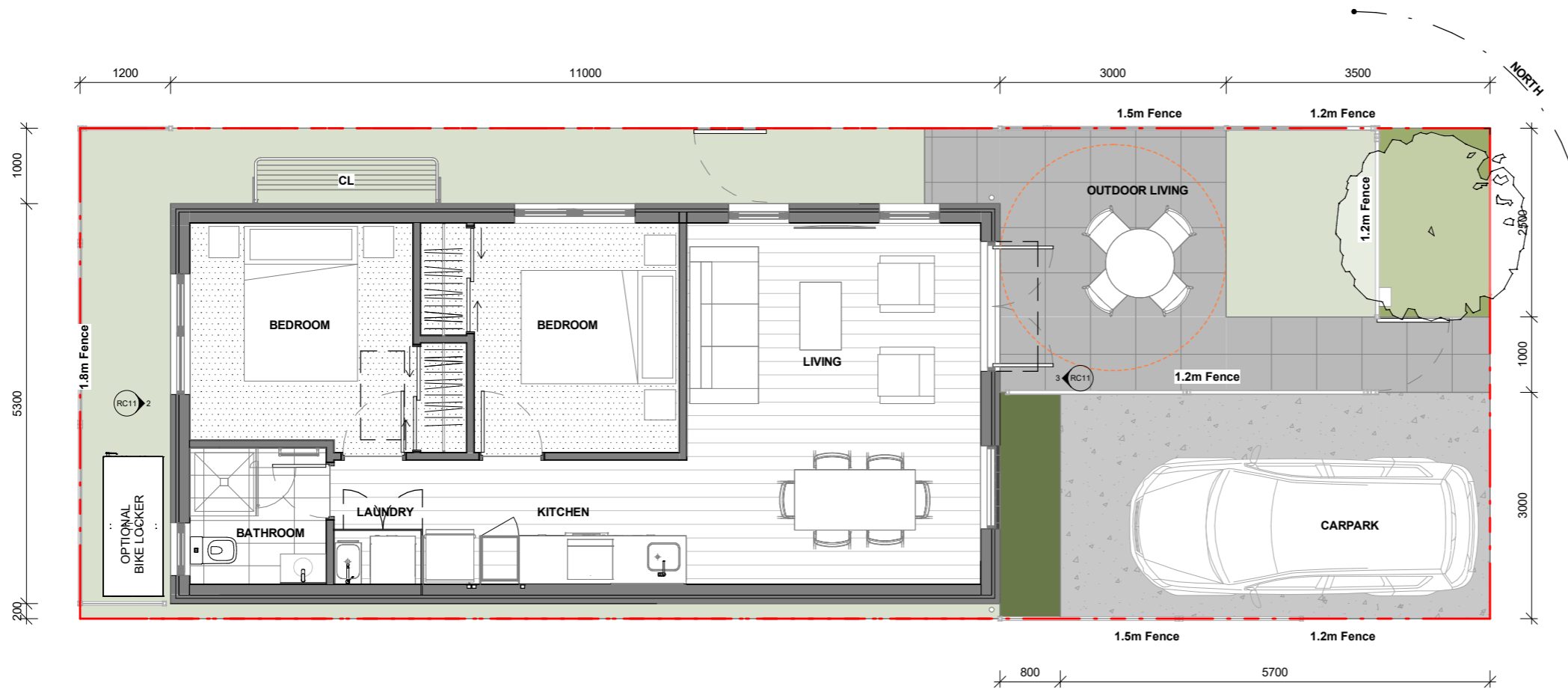
Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 976 8288	ak@dgse.co.nz



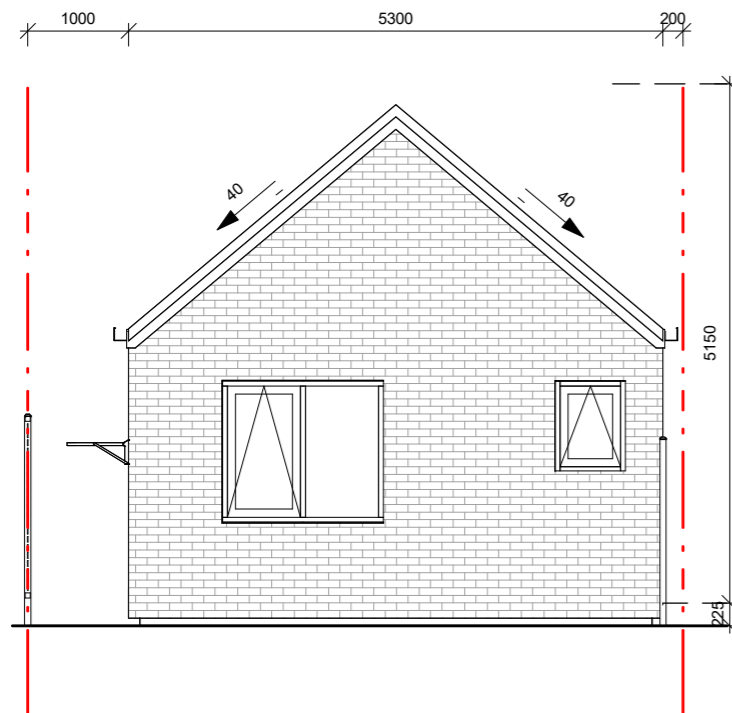
UNIT DRAWINGS - TYPE A REAR ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



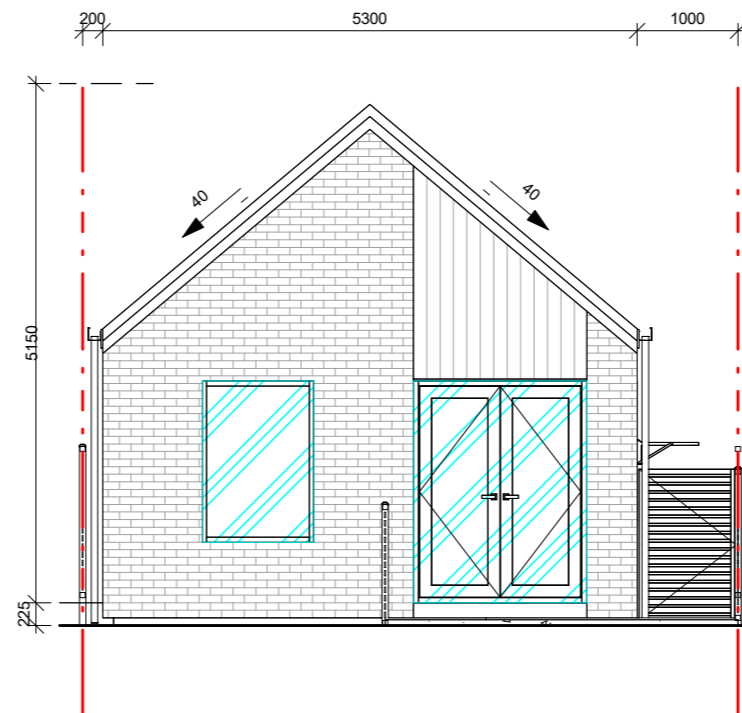
UNIT DRAWINGS - TYPE A FRONT ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE B1 FLOOR PLAN
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE B1 REAR ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE B1 FRONT ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC11 REV.B

UNIT DRAWINGS - TYPE B1

THAMES PACIFIC
160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **PROJECT NUMBER**
PLOT DATE. **30/07/2024 3:58:10 PM**

NO.	DESCRIPTION	DATE
B	RC Drawings 02	2024/07/24
A	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04
3	Unit Drawings	2024/06/27

- UNIT NOTES**
- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape information.
 - The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h
Climate Zone: 3
Corrosion Zone: Zone C
Legal Description: Lot 12 DP 90944
Wind Zone: High
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE A, B1, D + F COMPLIANCE

Glazing: 20% of the street-facing façade
Proposed unit Type A, B1 + D : 26.2%

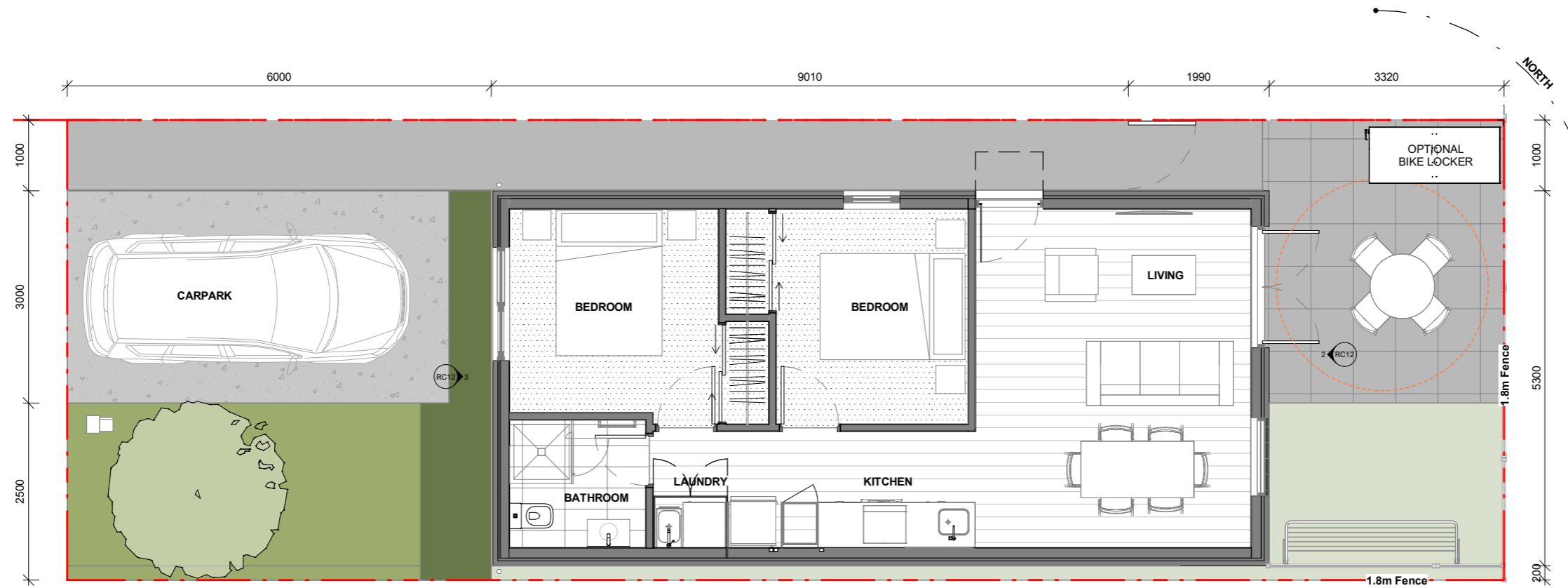
Outdoor living space (one per unit):
Ground floor: 20m², 3m dimension
Proposed unit : Compliant
17m² + 4.8m² share of communal park

Outlook space (per unit):
Principal living room: 4m depth, 4m width
All other habitable rooms: 1m depth, 1m width
Proposed unit : Compliant

Building height: 11m
Proposed unit : Compliant

Setbacks:
Front yard: 1.5m
Side yard: 1m
Rear yard: 1m
Proposed unit : Compliant





UNIT DRAWINGS - TYPE B2 FLOOR PLAN
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC12 REV.B

UNIT DRAWINGS - TYPE B2

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu,
WELLINGTON, 5032

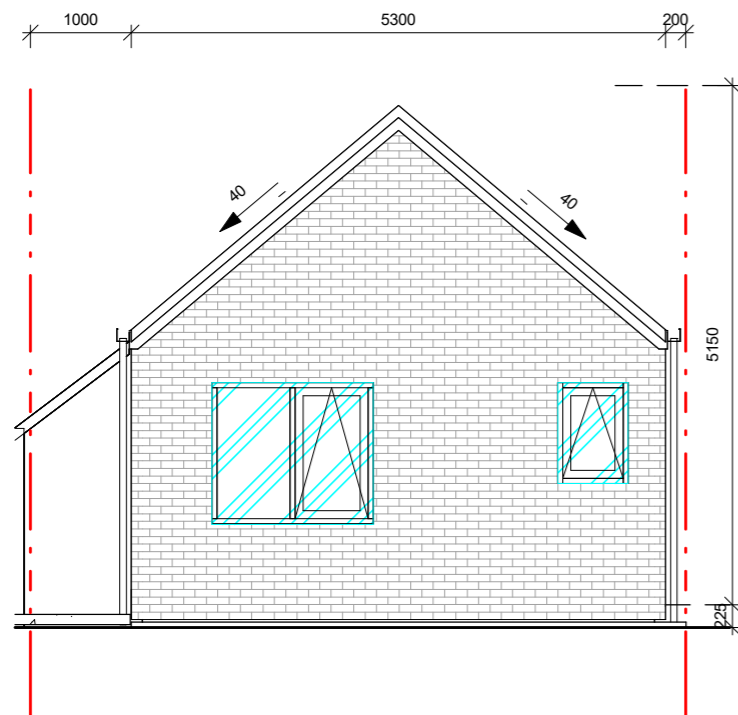
RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

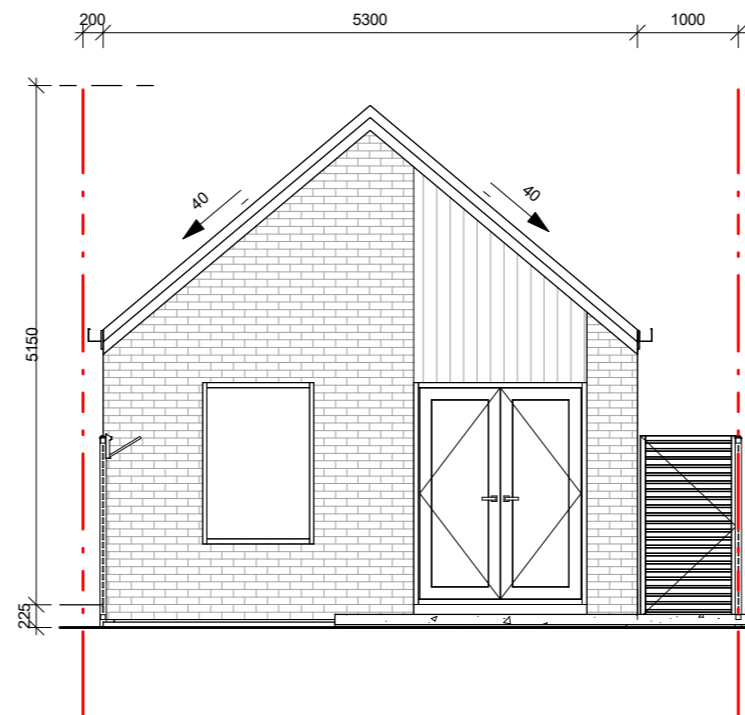
PROJECT No. **PROJECT NUMBER**

PLOT DATE. **30/07/2024 3:58:13 PM**

NO.	DESCRIPTION	DATE
B	RC Drawings 02	2024/07/24
A	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04
3	Unit Drawings	2024/06/27



UNIT DRAWINGS - TYPE B2 FRONT ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE B2 REAR ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape information.
- The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h
Climate Zone: 3
Corrosion Zone: Zone C
Legal Description: Lot 12 DP 90944
Wind Zone: High
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE B2 COMPLIANCE

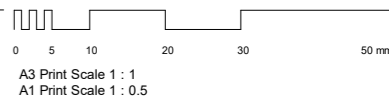
Glazing: 20% of the street-facing façade
Proposed unit Type B2 : 15.5%

Outdoor living space (one per unit):
Ground floor: 20m², 3m dimension
Proposed unit : Compliant

Outlook space (per unit):
Principal living room: 4m depth, 4m width
All other habitable rooms: 1m depth, 1m width
Proposed unit : Compliant

Building height: 11m
Proposed unit : Compliant

Setbacks:
Front yard: 1.5m
Side yard: 1m
Rear yard: 1m
Proposed unit : Compliant



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 976 8288	ak@dgse.co.nz

RC13 REV.B

UNIT DRAWINGS - TYPE C

THAMES PACIFIC

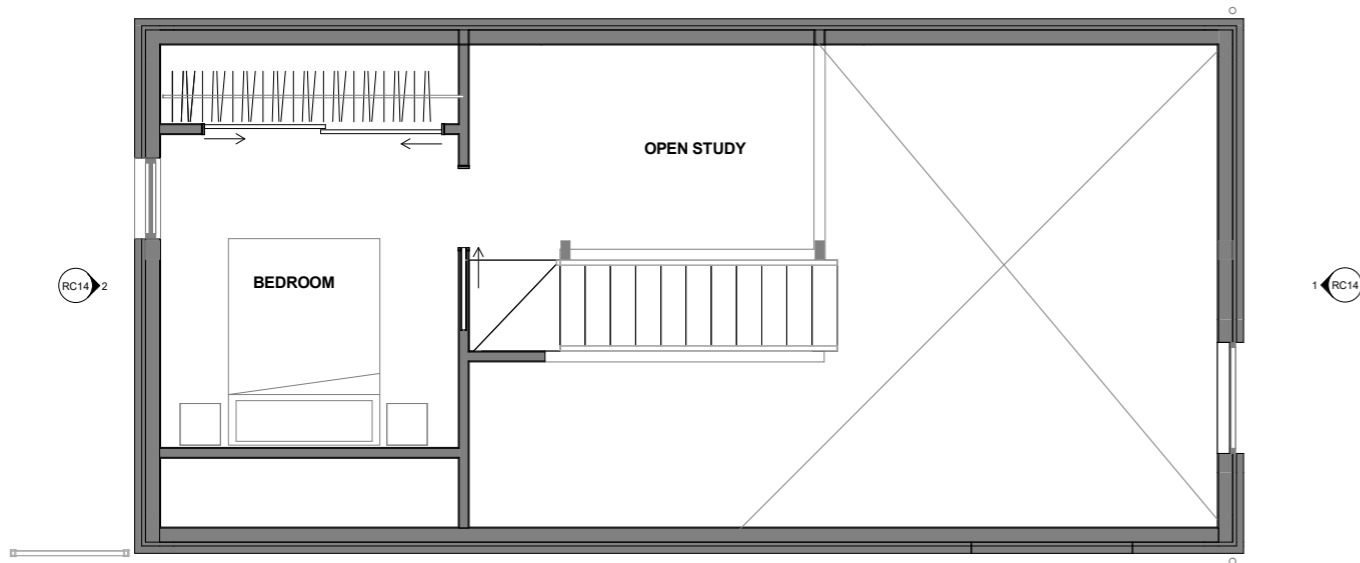
160 Mazengarb Road, Paraparaumu,
WELLINGTON, 5032

RESOURCE CONSENT

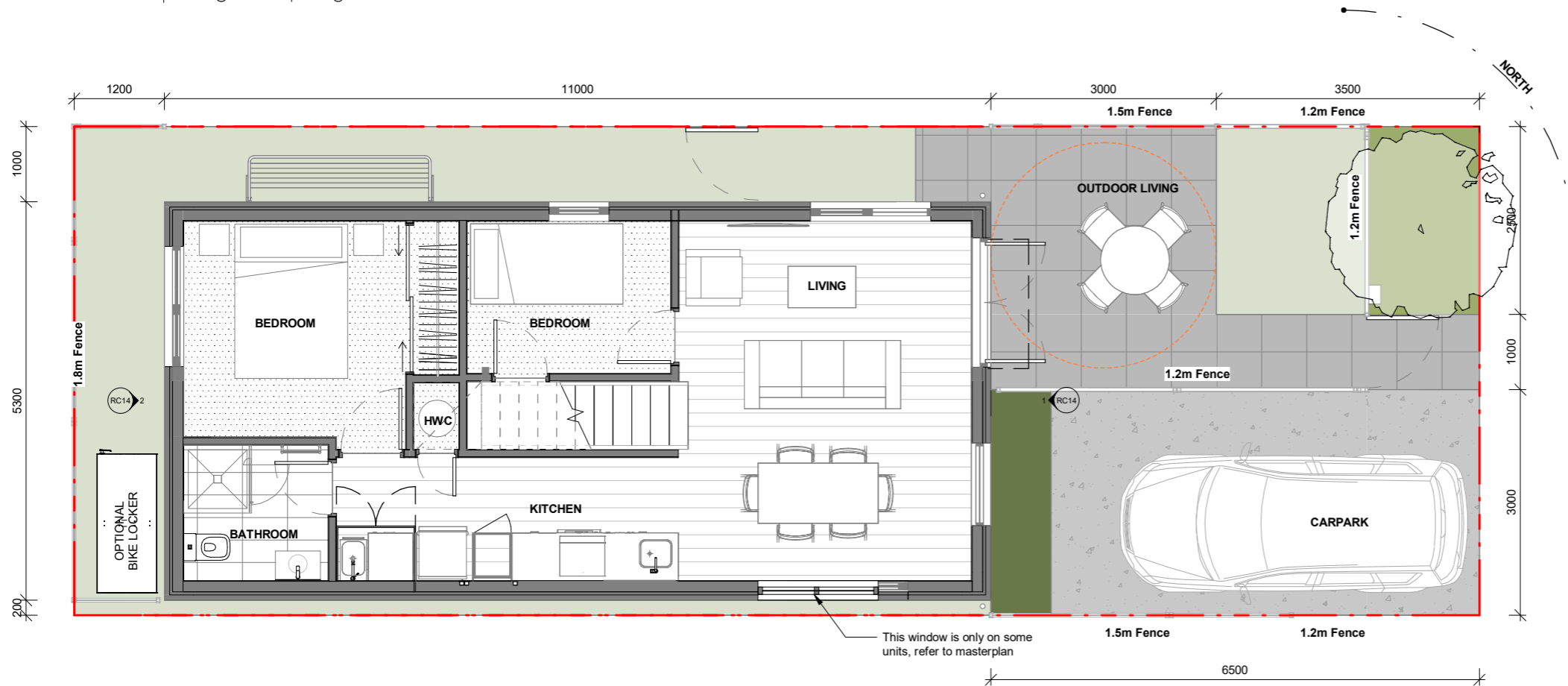
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **PROJECT NUMBER**

PLOT DATE: **30/07/2024 3:58:14 PM**



UNIT DRAWINGS - TYPE C LEVEL 1 PLAN
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE C GROUND FLOOR PLAN
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

NO.	DESCRIPTION	DATE
B	RC Drawings 02	2024/07/24
A	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04
3	Unit Drawings	2024/06/27

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape information.
- The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h
Climate Zone: 3
Corrosion Zone: Zone C
Legal Description: Lot 12 DP 90944
Wind Zone: High
NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE C COMPLIANCE

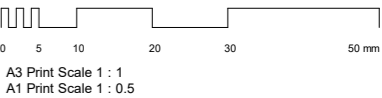
Glazing: 20% of the street-facing façade
Proposed unit Type C : 28.5%

Outdoor living space (one per unit):
Ground floor: 20m², 3m dimension
Proposed unit : Compliant
17m² + 4.8m² share of communal park

Outlook space (per unit):
Principal living room: 4m depth, 4m width
All other habitable rooms: 1m depth, 1m width
Proposed unit : Compliant

Building height: 11m
Proposed unit : Compliant

Setbacks:
Front yard: 1.5m
Side yard: 1m
Rear yard: 1m
Proposed unit : Compliant



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 976 8288	ak@dgse.co.nz

RC14 REV.B

UNIT DRAWINGS - TYPE C

THAMES PACIFIC

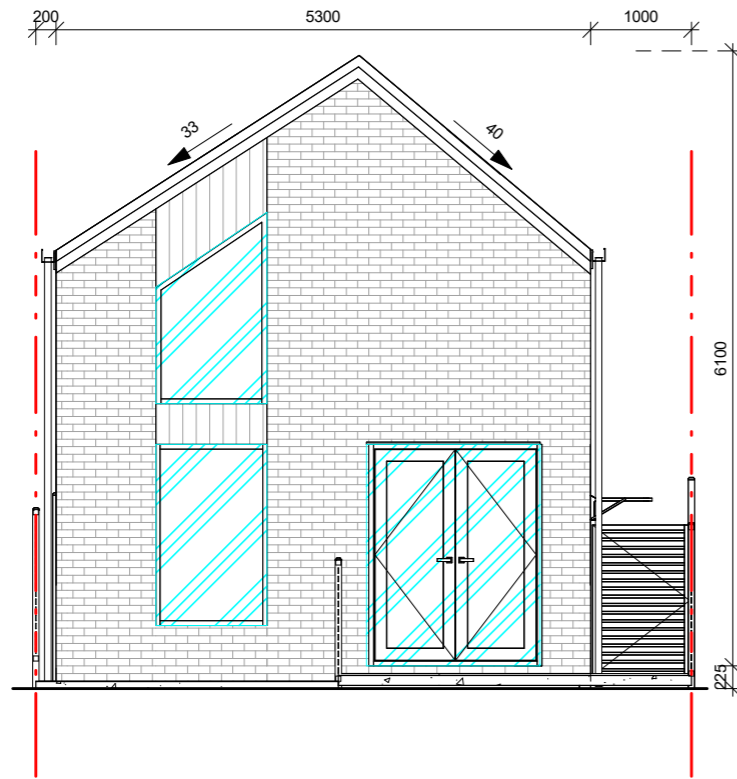
160 Mazengarb Road, Paraparaumu,
WELLINGTON, 5032

RESOURCE CONSENT

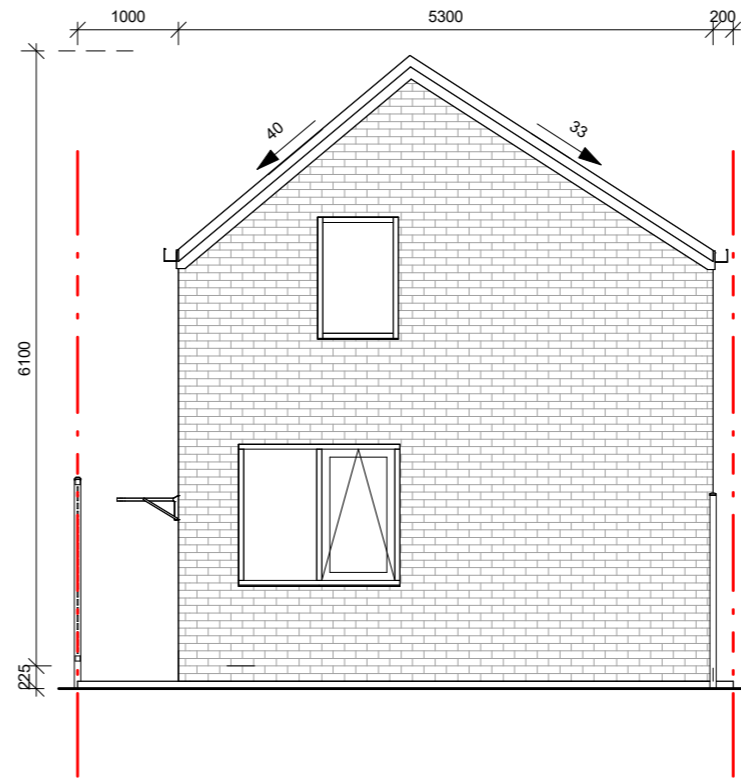
Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **PROJECT NUMBER**

PLOT DATE. **30/07/2024 3:58:16 PM**



UNIT DRAWINGS - TYPE C FRONT ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE C REAR ELEVATION
SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape information.
- The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h

Climate Zone: 3

Corrosion Zone: Zone C

Legal Description: Lot 12 DP 90944

Wind Zone: High

NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE C COMPLIANCE

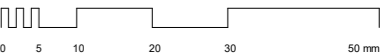
Glazing: 20% of the street-facing façade
Proposed unit Type C : 28.5%

Outdoor living space (one per unit):
Ground floor: 20m², 3m dimension
Proposed unit : Compliant
17m² + 4.8m² share of communal park

Outlook space (per unit):
Principal living room: 4m depth, 4m width
All other habitable rooms: 1m depth, 1m width
Proposed unit : Compliant

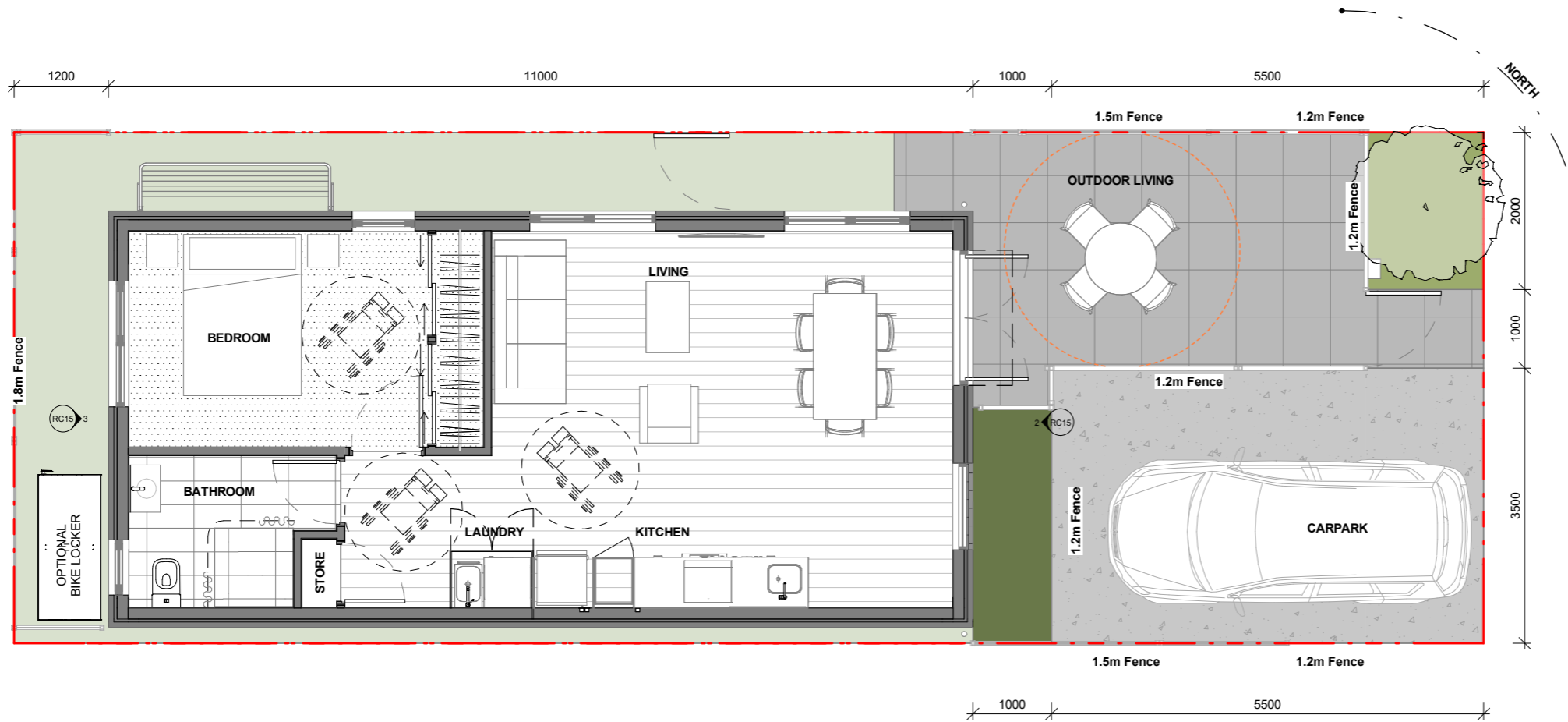
Building height: 11m
Proposed unit : Compliant

Setbacks:
Front yard: 1.5m
Side yard: 1m
Rear yard: 1m
Proposed unit : Compliant



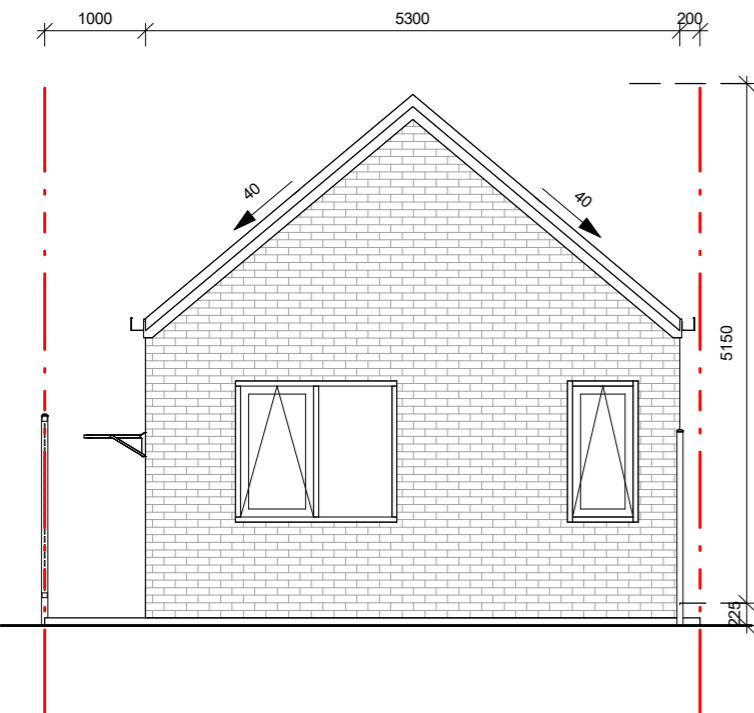
A3 Print Scale 1 : 1
A1 Print Scale 1 : 0.5

Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 976 8288	ak@dgse.co.nz



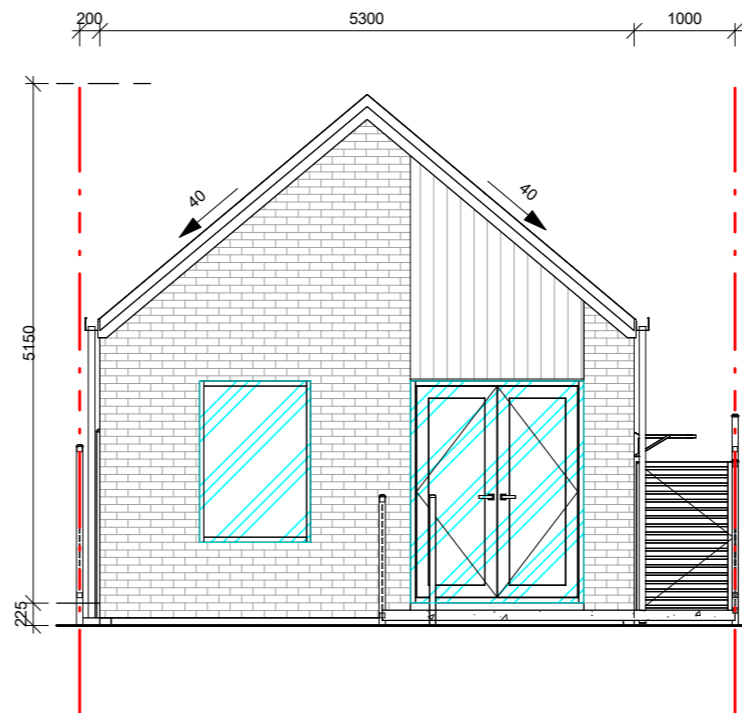
UNIT DRAWINGS - TYPE D FLOOR PLAN

SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE D REAR ELEVATION

SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE



UNIT DRAWINGS - TYPE D FRONT ELEVATION

SCALE @ A3 - 1 : 75 | SCALE @ A1 - DOUBLE SCALE

RC15 REV.B

UNIT DRAWINGS - TYPE D

THAMES PACIFIC

160 Mazengarb Road, Paraparaumu, WELLINGTON, 5032

RESOURCE CONSENT

Contractors shall verify all dimensions on site before commencing work. Do not scale from the drawings. If in doubt ask. Copyright of this drawing is vested in Designgroup Stapleton Elliott.

PROJECT No. **PROJECT NUMBER**

PLOT DATE. **30/07/2024 3:58:18 PM**

NO.	DESCRIPTION	DATE
B	RC Drawings 02	2024/07/24
A	RC Drawings	2024/07/22
8	Draft RC drawings 02	2024/07/18
4	Draft RC drawings	2024/07/04
3	Unit Drawings	2024/06/27

UNIT NOTES

- The landscape shown in these drawings is typical, refer to the masterplan and landscape plans for detailed landscape information.
- The north indicator is indicative, refer to the masterplan for unit aspect and location.

Site Information

Rainfall Intensity: 60 mm/h
 Climate Zone: 3
 Corrosion Zone: Zone C
 Legal Description: Lot 12 DP 90944
 Wind Zone: High
 NZBC E2 Compliance: Compliance with NZBC E2 is by means of NZBC E2 AS1. Refer Risk Matrix provided.

UNIT TYPE A, B1, D + F COMPLIANCE

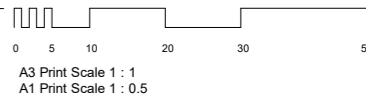
Glazing: 20% of the street-facing façade
 Proposed unit Type A, B1 + D : 26.2%

Outdoor living space (one per unit):
 Ground floor: 20m², 3m dimension
 Proposed unit : Compliant
 17m² + 4.8m² share of communal park

Outlook space (per unit):
 Principal living room: 4m depth, 4m width
 All other habitable rooms: 1m depth, 1m width
 Proposed unit : Compliant

Building height: 11m
 Proposed unit : Compliant

Setbacks:
 Front yard: 1.5m
 Side yard: 1m
 Rear yard: 1m
 Proposed unit : Compliant



Wellington	+64 4 920 0032	wn@dgse.co.nz
Palmerston North	+64 6 357 4534	pn@dgse.co.nz
Tauranga	+64 7 925 6238	tr@dgse.co.nz
Napier	+64 6 835 6173	np@dgse.co.nz
Auckland	+64 9 976 8288	ak@dgse.co.nz



designgroup
stapleton elliott